

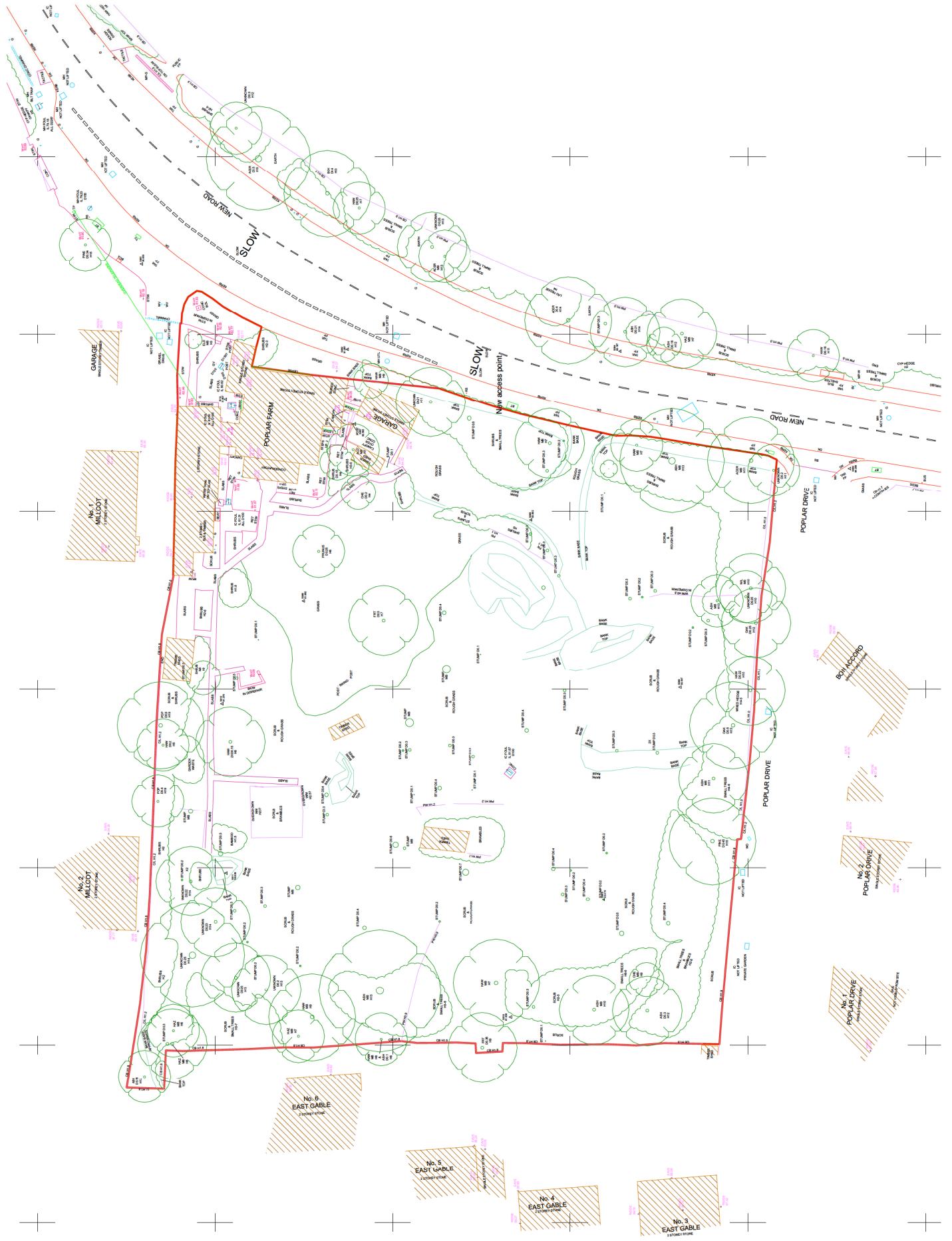
Location Plan

PL_05_05_2021_Plan 1 (Site Area) - JH
PL_16_07_2021_Plan 1 (Site Area) - JH
Revision

PROPOSED DEVELOPMENT: NEW ROAD, WOODMARCOTE
Location Plan - New Build

DATE	REVISION	BY
20/05/2021	1	JH
16/07/2021	2	JH

Site: New Road, Woodmarcote, SO11 1LD
Date: 16/07/2021
Author: JH
Drawn: JH



PL 16.02.2021, Planning Issue, PN
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE
Existing Site Plan

NO.	DATE	BY	REVISION
1	16.02.2021	PN	PLANNING ISSUE
2	16.02.2021	PN	PLANNING ISSUE

Scale: 1:500
Date: 16.02.2021
Author: PN
Check: PN
Drawn: PN
Reviewed: PN
Approved: PN

BPN ARCHITECTS
1100 1st Avenue, Suite 100
Seattle, WA 98101
Phone: 206.461.1100
Fax: 206.461.1101
www.bpnarchitects.com

North Arrow

© 2024 BPN Architects
All rights reserved. No part of this document may be reproduced without written permission.



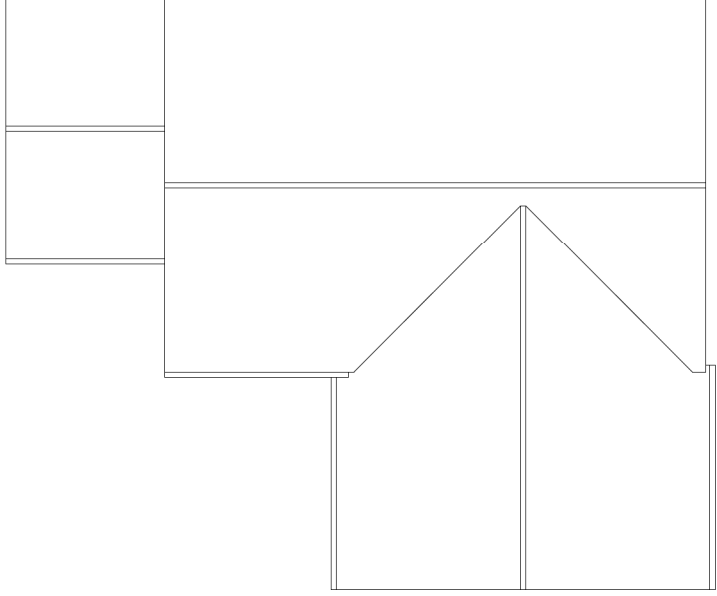
PROJECT: PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE
DATE: 10/11/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8\"/>

PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE
Proposed Site Plan

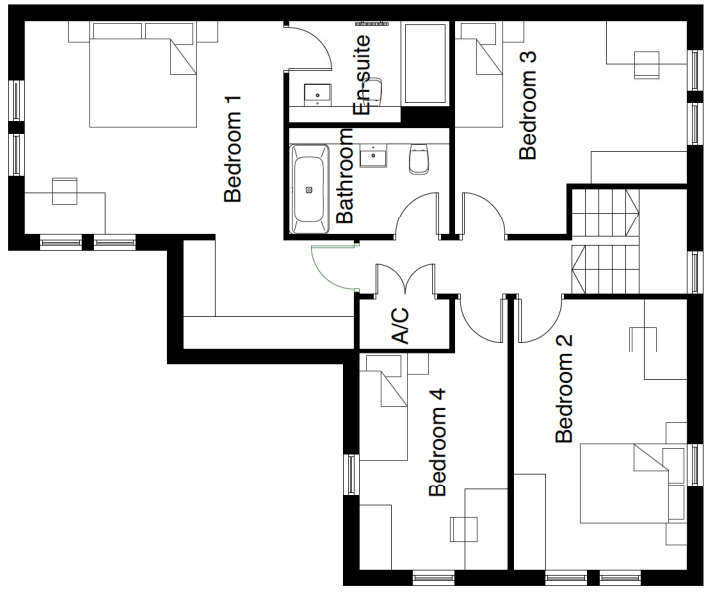
NO.	DATE	DESCRIPTION
1	10/11/2024	ISSUED FOR PERMITTING
2	10/11/2024	ISSUED FOR PERMITTING
3	10/11/2024	ISSUED FOR PERMITTING
4	10/11/2024	ISSUED FOR PERMITTING
5	10/11/2024	ISSUED FOR PERMITTING
6	10/11/2024	ISSUED FOR PERMITTING
7	10/11/2024	ISSUED FOR PERMITTING
8	10/11/2024	ISSUED FOR PERMITTING
9	10/11/2024	ISSUED FOR PERMITTING
10	10/11/2024	ISSUED FOR PERMITTING

1. New Road, Woodinville, WA 98092
2. 2024 BPN Architects
3. 2024 BPN Architects
4. 2024 BPN Architects

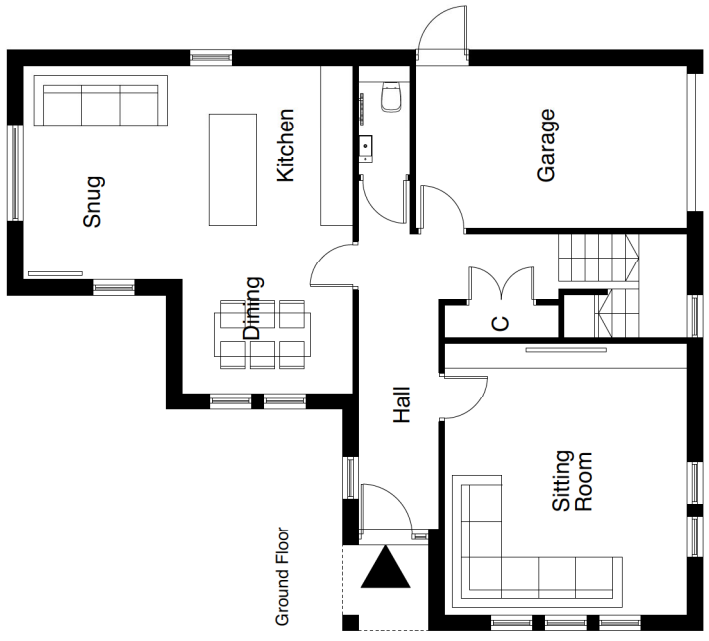
Total GIA 171 sqm / 1839 sqft (excl. garage)



Roof



First Floor



Ground Floor



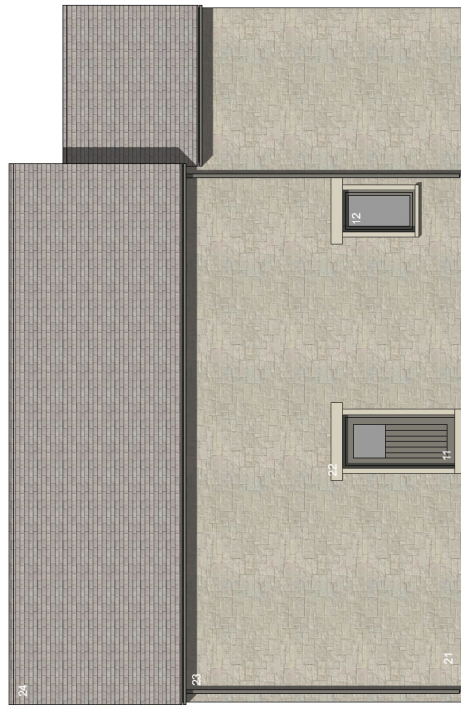
DATE	REVISION	BY	CHKD
20/01/22	PL	S. J. G. G.	X
18/07/2021	PL	S. J. G. G.	X
18/07/2021	PL	S. J. G. G.	X

KEY

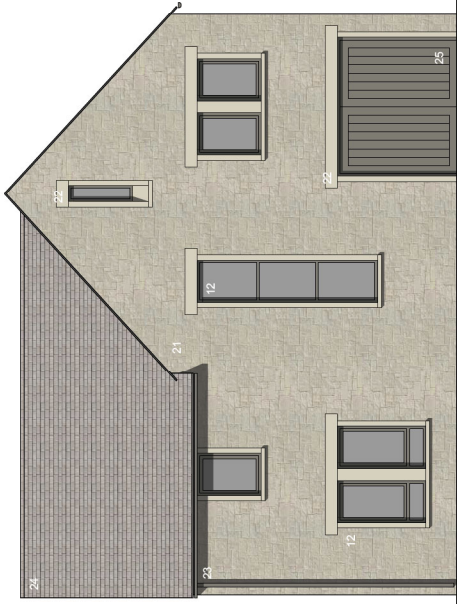
1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing double glazed units to be retained and incorporated into new double glazed units (applies to all existing windows).
4. Brick splay areas redecorated.
5. Timber frame redecorated.
6. Existing stone walling redecorated or replaced to match if beyond repair - bronze colour.
7. Existing delapidated stone wall rebuilt.
8. Existing stone walling and screen in bronze colour.
9. Spacing seam zinc roof.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing double glazed window.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling repointed with matching stone.
16. Existing stone walling repointed with matching stone.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling repointed with matching stone.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone lintels, reveals, mullions and cills.
23. Existing stone walling repointed with matching stone.
24. Tiled roof in built to match existing Poplar Farm cottage.
25. Traditional garage door.
26. Through coloured render.
27. Existing stone walling repointed with matching stone.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings in matching colour to window frames.



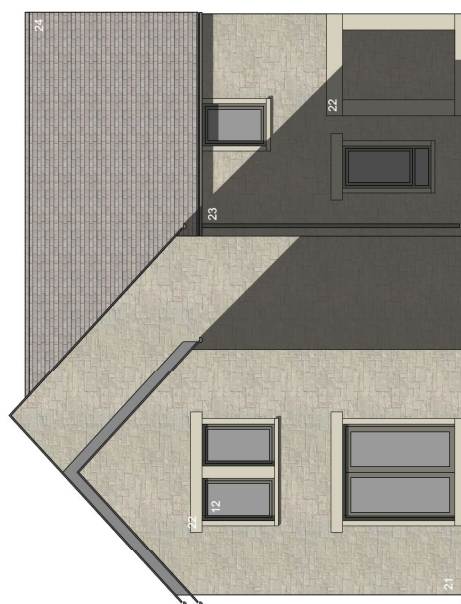
East



West



North



South

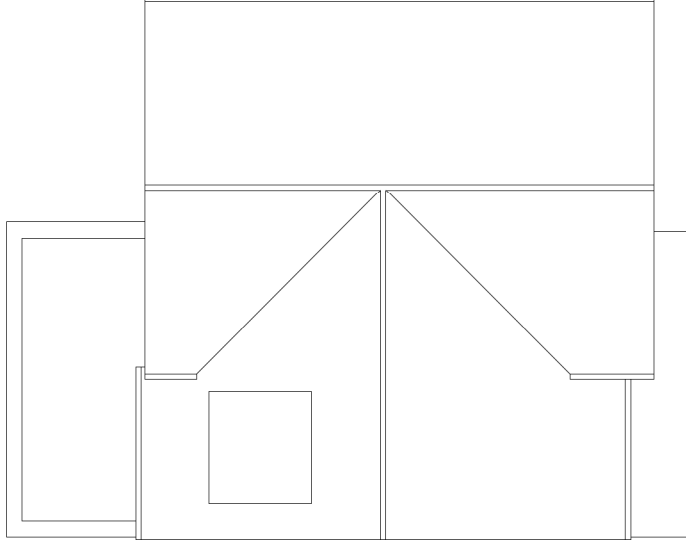
PL2, 21.10.2020, Chimney removed, RN
 PL1, 16.07.2020, Planning Issues, RN
 Revision

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Proposed Elevations - Plot 1

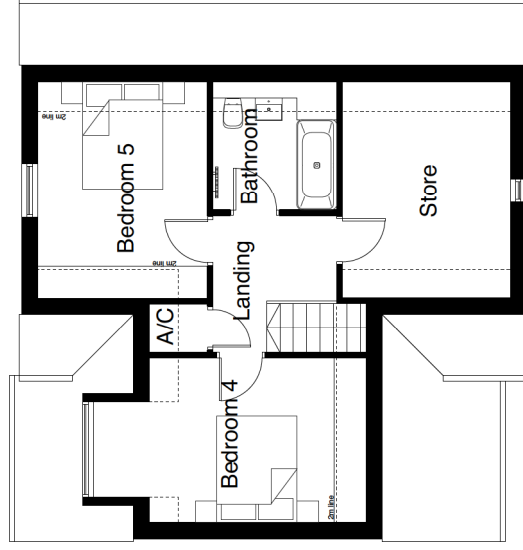
DATE	REVISION	BY	CHKD
20/01/21	1	PL	PL
16/07/20	2	PL	PL
16/07/20	3	PL	PL



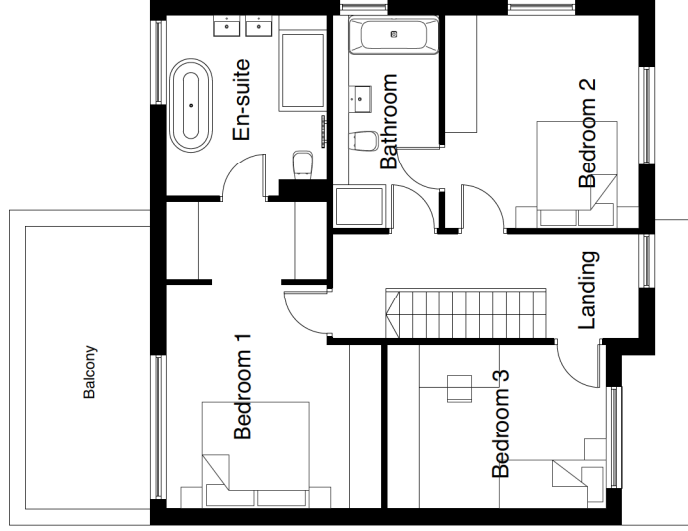
Total GIA 215 sqm / 2313 sqft (excl. garage)



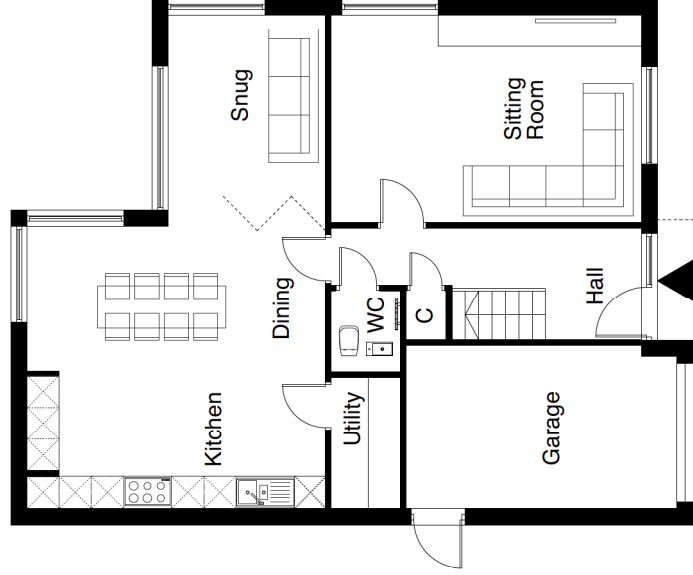
Roof



Attic



First Floor



Ground Floor

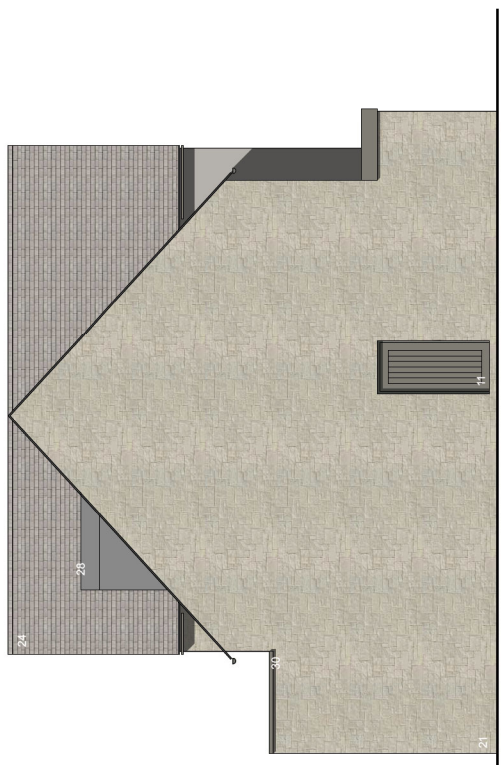


10m

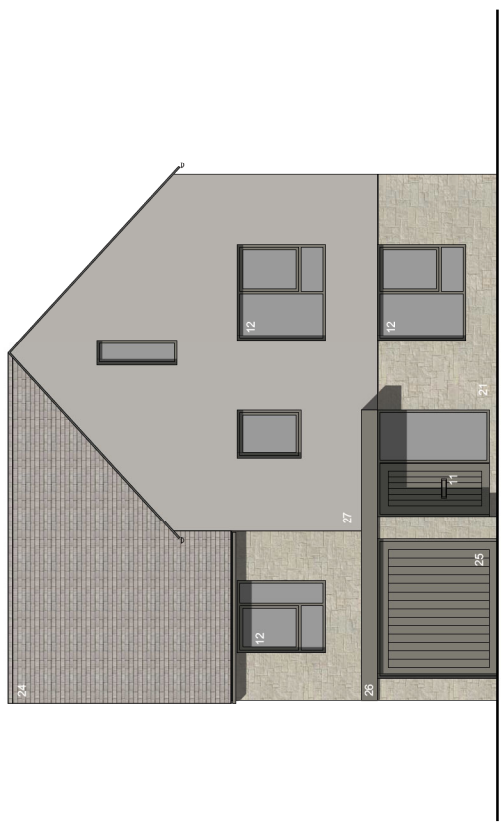


KEY

1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing double glazed units to be retained and incorporated into new double glazed units (applies to all existing windows).
4. Brick splay areas redecorated.
5. Timber frame redecorated.
6. Existing stone walling to be retained and made good locally as required.
7. Existing delapidated stone wall rebuilt.
8. Existing stone walling to be retained and made good locally as required.
9. Existing stone walling to be retained and made good locally as required.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing double glazed window.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling to be retained and made good locally as required.
16. Existing stone walling to be retained and made good locally as required.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling to be retained and made good locally as required.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone lintels, reveals, mullions and cills.
23. Existing stone walling to be retained and made good locally as required.
24. Tiled roof in full to match existing Poplar Farm cottage.
25. Traditional garage door.
26. Through coloured render.
27. Existing stone walling to be retained and made good locally as required.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings in matching colour to window frames.



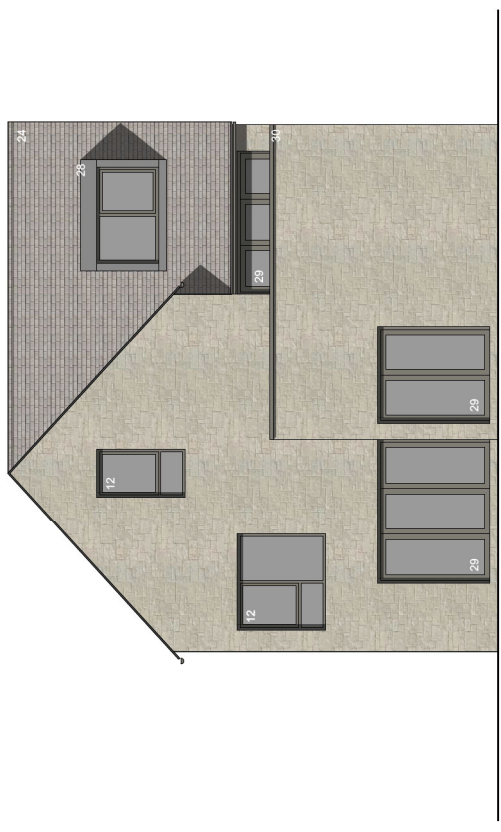
East



North



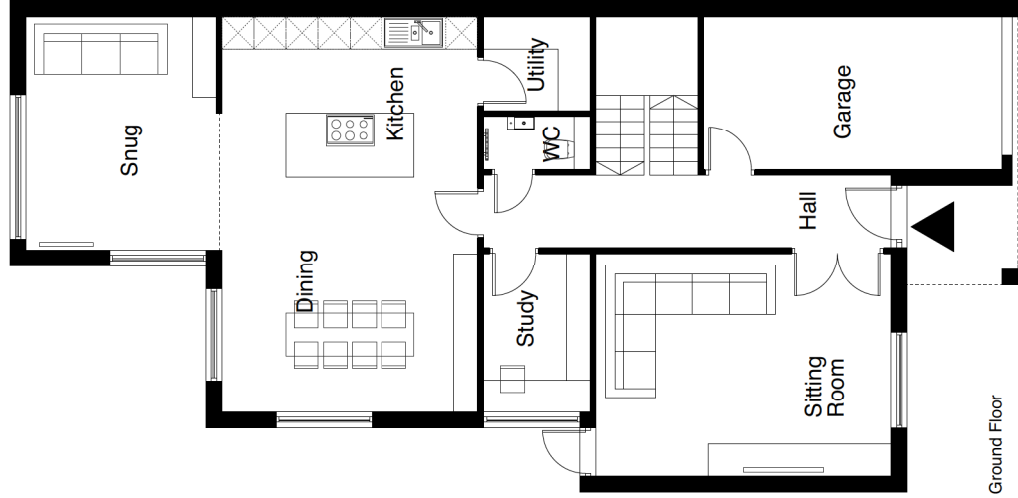
West



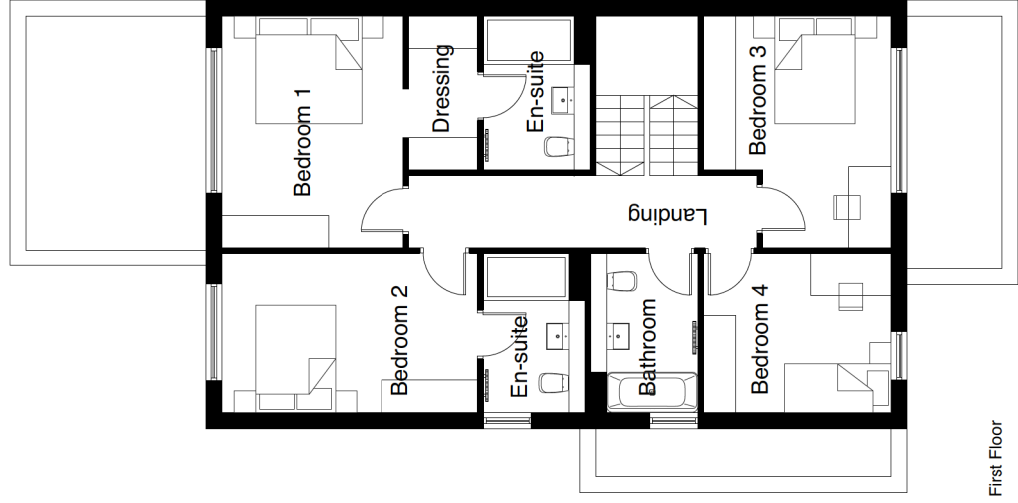
South

DATE	REVISION	BY	CHKD
20/01/22	PS	PLANNING	PLANNING
18/07/21	PS	PLANNING	PLANNING
18/07/20	PS	PLANNING	PLANNING

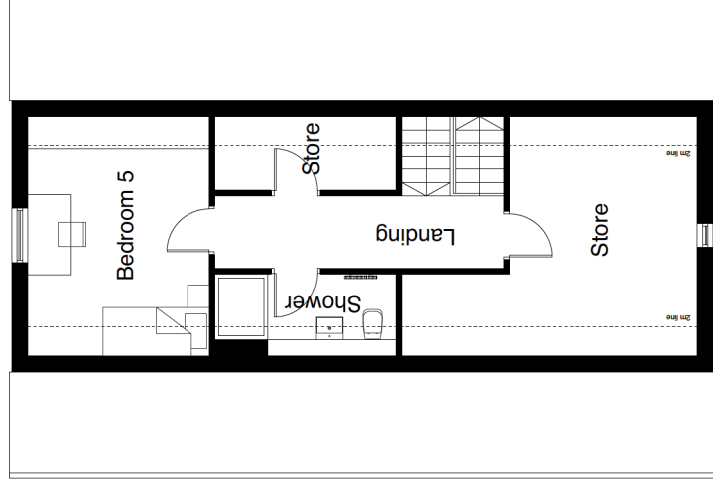
Total GIA 250 sqm / 2690 sqft (excl. garage)



Ground Floor



First Floor



Attic

PG 21/10/2021: Criteria removed, RN
P1, 16/07/2021: Planning Issues, RN
Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Proposed Floor Plans - Plot 3

DATE	REVISION
24/01/24	FP
16/07/2021	FP
16/07/2021	FP

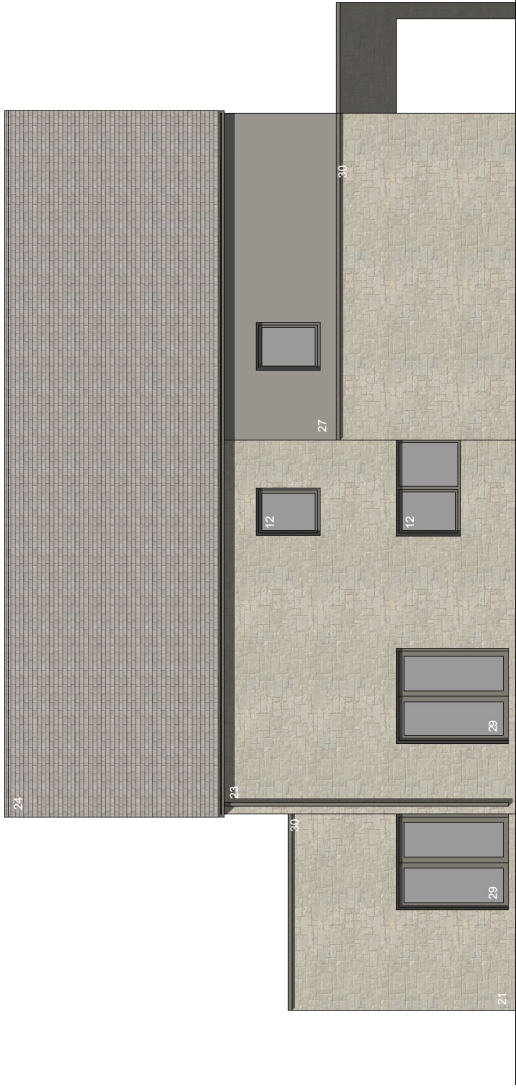


BPN ARCHITECTS

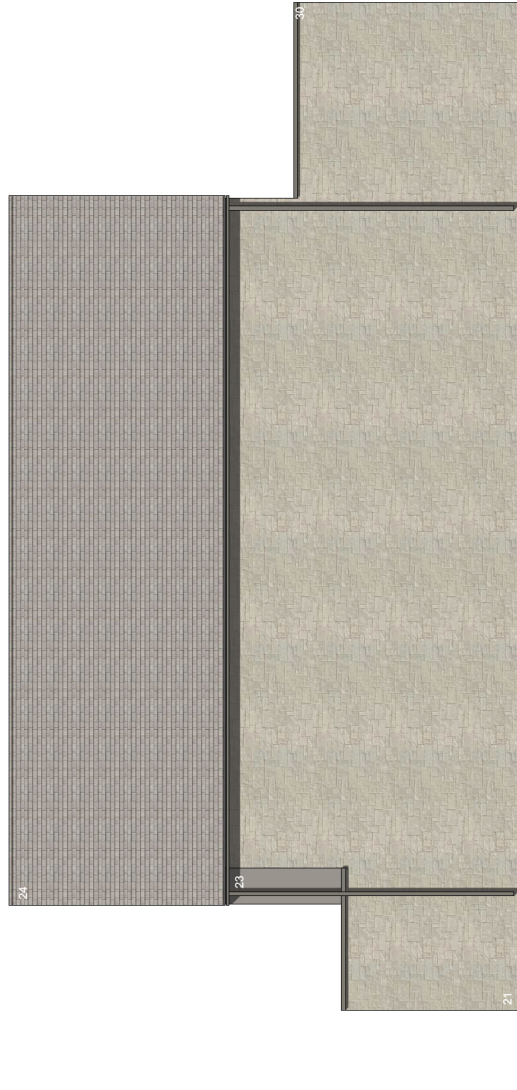
100019200
01753 39181
www.bpnarchitects.co.uk

KEY

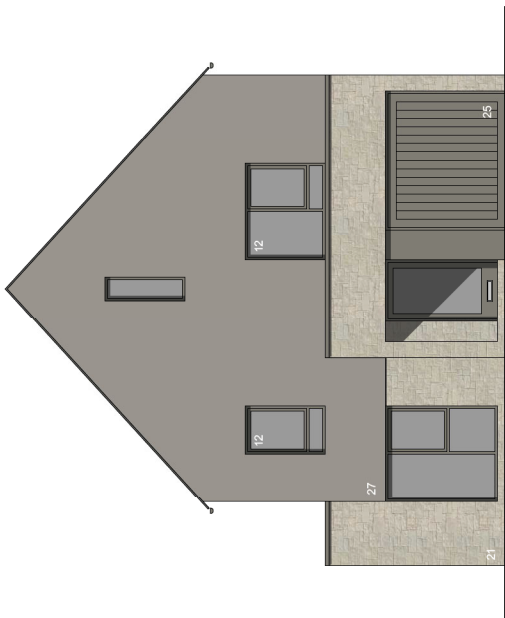
1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing double glazed units to be retained and incorporated into new double glazed units (applies to all existing windows).
4. Brick splay areas redecorated.
5. Timber frame redecorated.
6. Existing stone walling to be retained and made good locally as required beyond repair - bronze colour.
7. Existing delapidated stone wall rebuilt.
8. Existing roof to be retained and screen in bronze colour.
9. Spacing seam zinc roof.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing rear wall to be retained and made good locally as required in double glazed window.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling to be retained and made good locally as required. Existing chimney to be retained and made good locally as required.
16. Existing chimney to be retained and made good locally as required.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling to be retained and made good locally as required.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone lintels, reveals, mullions and cills.
23. Existing stone walling to be retained and made good locally as required.
24. Tiled roof to be retained and made good locally as required.
25. Traditional garage door.
26. Through coloured render.
27. Through coloured render.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings in matching colour to window frames.



South



North



East



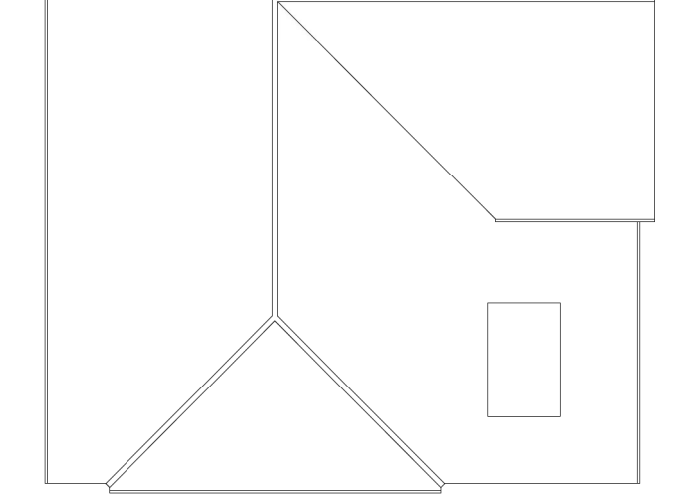
West

PS 21.12.2021, Chimney removed, RN
 P1, 16.07.2021, Planning Issues, RN
 Revision

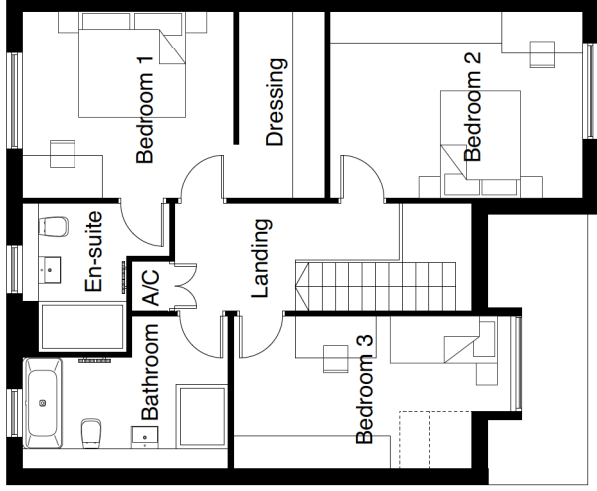
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Proposed Elevations - Plot 3

DATE	REVISION	BY	CHKD
20/01/23	P3	PLANNING	PLANNING
16/07/21	1	PLANNING	PLANNING
16/07/2021	1	PLANNING	PLANNING

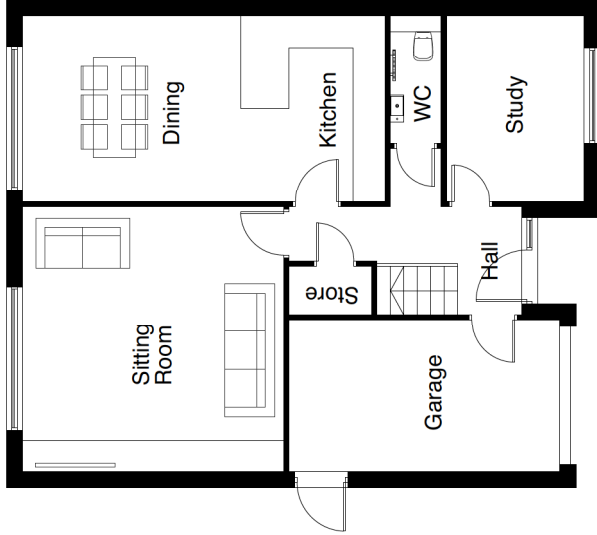
Total GIA 147 sqm / 1570 sqft (incl. garage)



Roof plan



First Floor



Ground Floor



BPN ARCHITECTS

11 New Street, Birmingham B3 1UY
0121 733 1818
www.bpnarchitects.co.uk

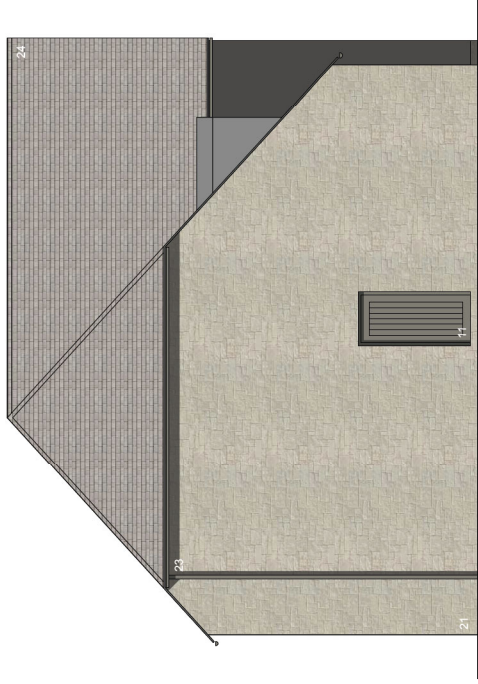
PROPOSED DEVELOPMENT, NEW ROAD, WOODHAMCOTE
Proposed Floor Plans - Plot 4

DATE	REVISION
15.07.2021	PLANNED
15.07.2021	REV
15.07.2021	REV

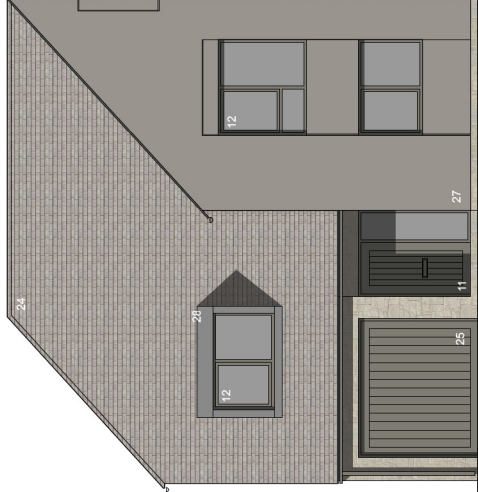
PG 2 of 3 (2021) - Chimney removed, ground floor external alterations (IN)
PL 1 of 2 (2021) - Planning (incl. IN)
Revised: 15.07.2021

KEY

1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be retained and incorporated into double glazed units (applies to all existing windows).
4. Brick splayrels redecorated.
5. Timber frame redecorated.
6. Existing stone walling to be retained and repointed with lime mortar as required.
7. Existing delapidated stone wall rebuilt.
8. Existing stone walling to be retained and repointed with lime mortar as required.
9. Existing stone walling to be retained and repointed with lime mortar as required.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing stone walling to be retained and repointed with lime mortar as required.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling to be retained and repointed with lime mortar as required.
16. Existing stone walling to be retained and repointed with lime mortar as required.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling to be retained and repointed with lime mortar as required.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone lintels, reveals, mullions and cills.
23. Existing stone walling to be retained and repointed with lime mortar as required.
24. Tiled roof in built to match existing Poplar Farm cottage.
25. Traditional garage door.
26. Through coloured render.
27. Existing stone walling to be retained and repointed with lime mortar as required.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings in matching colour to window frames.



South



East



West

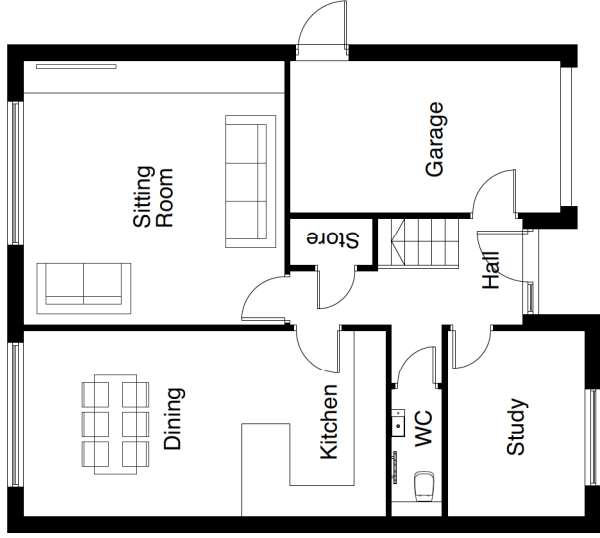


PS 21.10.2021: Chimney removed, RN
 PL 16.07.2021: Planning Issues, RN
 Revision:

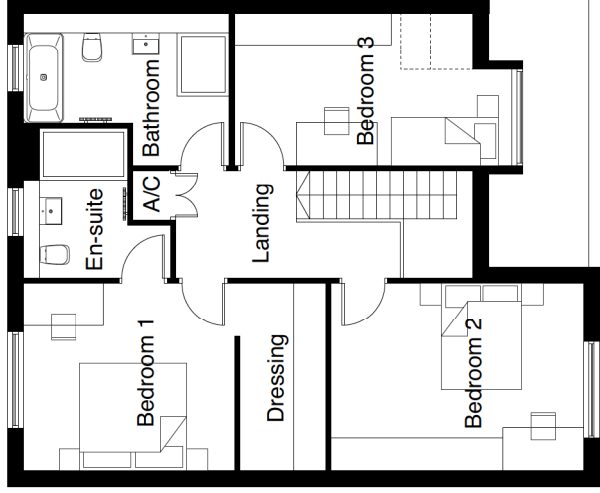
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Proposed Elevations - Plot 4

DATE	BY	FOR
20.07.2021	PS	PLANNING
16.07.2021	PS	PLANNING
16.07.2021	PS	PLANNING

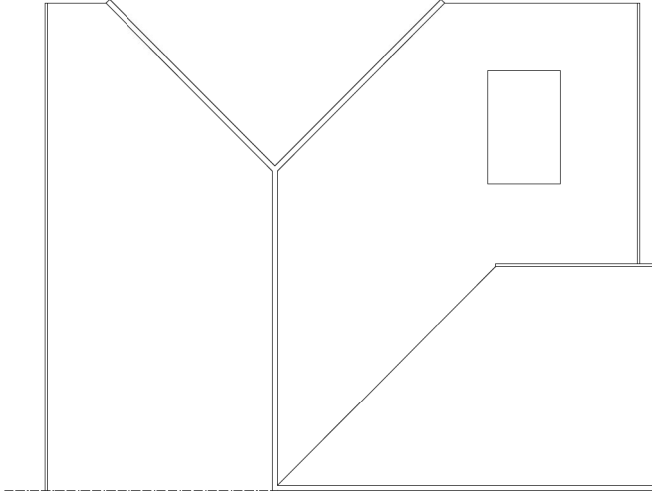
Total GIA 147 sqm / 1570 sqft (incl. garage)



Ground Floor



First Floor



Roof plan



BPN ARCHITECTS

1100, The Woodlands, QLD 4110
 07 551 700 1818
 www.bpnarchitects.com.au

PROPOSED DEVELOPMENT, NEW ROAD, WOODMACKOTE
 Proposed Floor Plans - Plot 5

DATE	REVISION
20/01/2024	PF
16/07/2023	PF
16/07/2023	PF

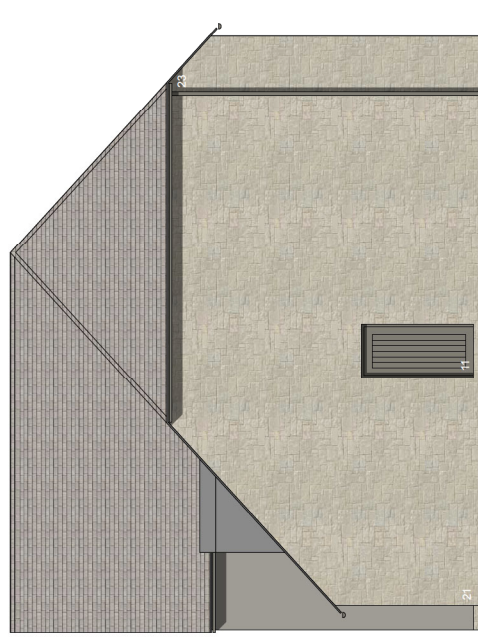
PF_21_18_2023: Chimney removed, ground floor external alterations (IN)
 PF_1_16_07_2023: Planning Issues (IN)
 Revision:

KEY

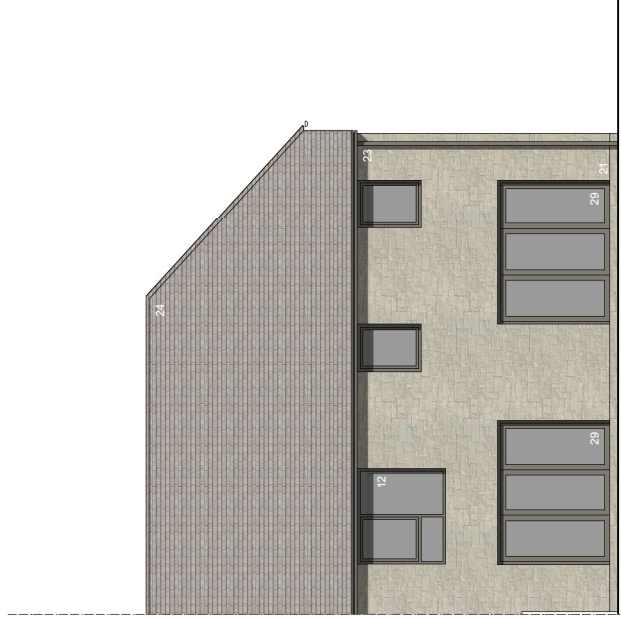
1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be retained and incorporating slimline double glazed units (applies to all existing windows)
4. Brick splaydells redecorated
5. Timber frame redecorated
6. Existing interior goods redecorated or replaced to match if beyond repair - stone colour.
7. Existing delapidated stone wall rebuilt
8. Existing stone walling to be retained and screen in bronze colour
9. Spalling seam coat
10. New stone wall built using reclaimed stone from demolished garage
11. Painted timber coat
12. Existing chimney in double glazed window
13. Stone coping
14. Dry stone wall using local stone
15. Existing downy partially replaced with matching stone
16. Existing stone walling to be retained and repointed with matching stone
17. Existing rear wall partially retained and new timber pergola
18. Painted timber gate
19. Existing stone walling to be retained and repointed with matching stone
20. Zinc fascia to timber pergola
21. Local stone facade
22. Present stone lintels, reveals, mullions and cills
23. Existing stone walling to be retained and repointed with matching stone
24. Tiled roof in full to match existing Poplar Farm cottage
25. Traditional garage door
26. Through coloured render
27. Existing stone walling to be retained and repointed with matching stone
28. PPC creeks and flashings to dormer windows
29. PPC aluminium glazed door
30. PPC aluminium copings in matching colour to window frames



East



North



West

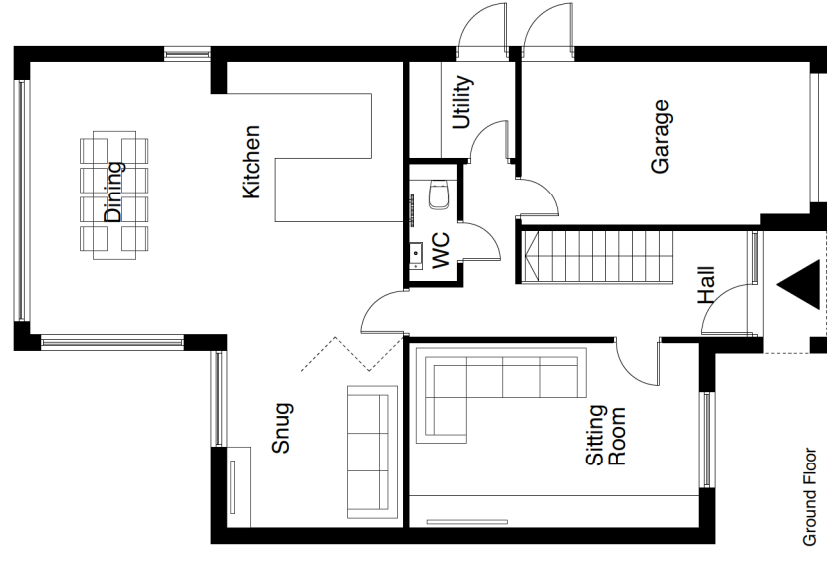
PS_21_18_2021_Chimney removed_RN
 PL_18_07_2021_Planning Issue_RN
 Revision

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Proposed Elevations - Plot 5

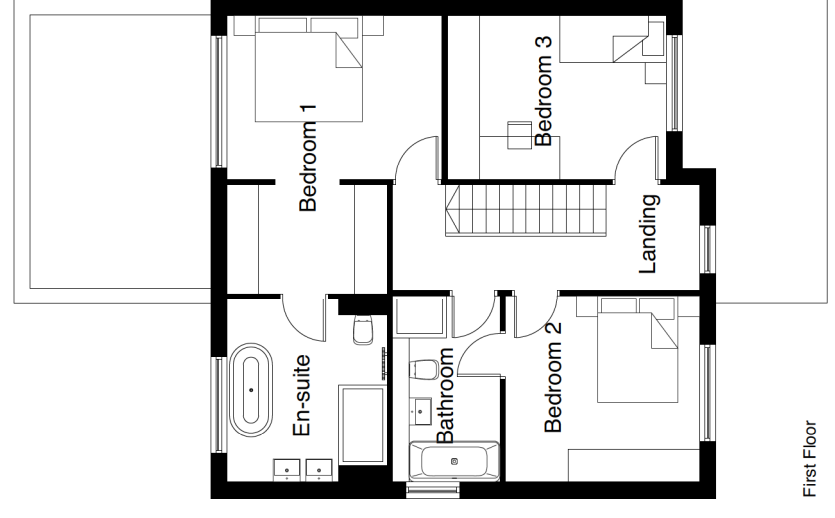
DATE	REVISION
20/01/20	PLANNING
18/07/20	PLANNING
18/07/20	PLANNING
18/07/20	PLANNING



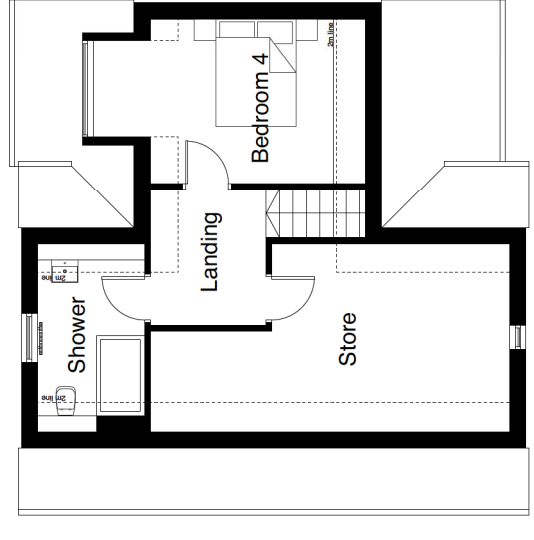
Total GIA 210 sqm / 2259 sqft (excl. garage)



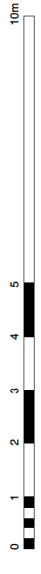
Ground Floor



First Floor



Attic



BPN ARCHITECTS

5, The Old Rectory, 101-103
 01473 753191
 www.bpnarchitects.co.uk

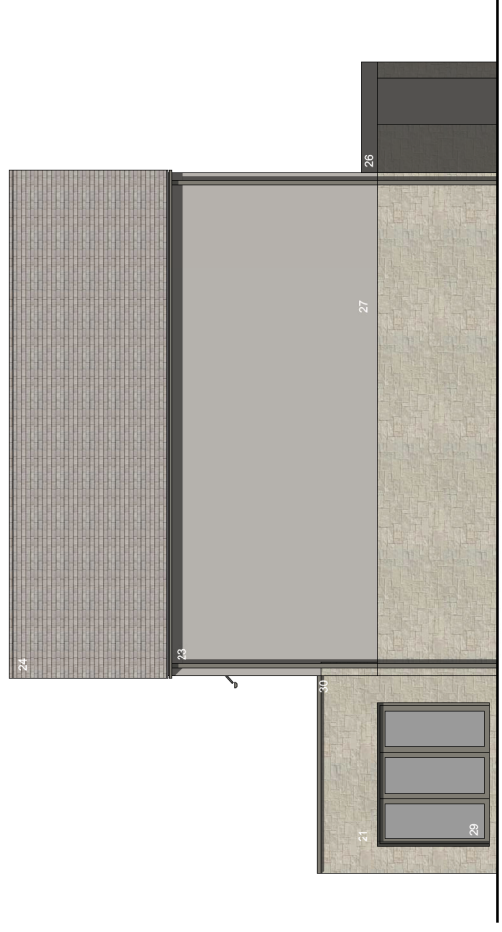
PG 21/18/2021: Chimney removed, front door & utility doors removed, JN
 P1, 18/07/2021: Planning Issues, JN
 Revision:

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Proposed Floor Plans - Plot 6 & 7

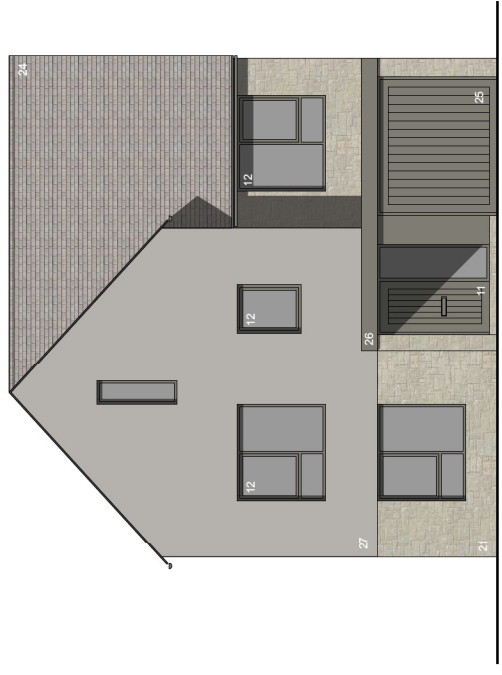
DATE	REVISION	BY	CHECKED
18/07/2021	P1	JN	JN
18/07/2021	P2	JN	JN

KEY

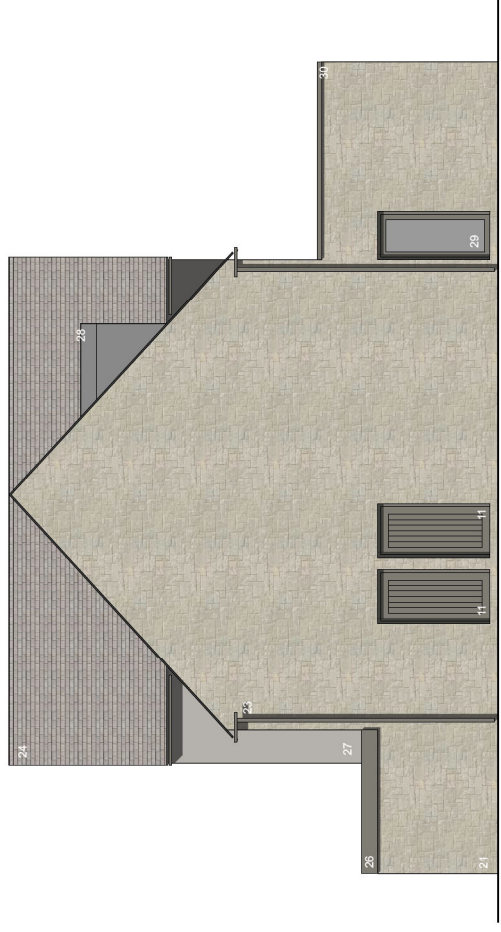
- Existing hatch roof retained and made good locally as required.
- Existing stone walling retained and repointed with lime mortar as required.
- Existing windows carefully removed and replaced with new hardwood windows. Existing double glazed units to be retained and incorporated into new double glazed units (applies to all existing windows).
- Brick splay areas redecorated.
- Timber frame redecorated.
- Existing stone walling to be retained and made good locally as required.
- Existing delapidated stone wall rebuilt.
- Existing stone walling to be retained and made good locally as required.
- Existing stone walling to be retained and made good locally as required.
- New stone wall built using reclaimed stone from demolished garage.
- Painted timber door.
- Existing stone walling to be retained and made good locally as required.
- Stone coping.
- Dry stone wall using local stone.
- Existing chimney partially retained with matching stone.
- Existing rear wall partially retained and new timber pergola.
- Painted timber gate.
- Existing stone walling to be retained and made good locally as required.
- New stone wall built using reclaimed stone from demolished garage.
- Local stone facade.
- Proposed stone lintels, reveals, mullions and cills.
- Proposed stone walling to be retained and made good locally as required.
- Proposed stone walling to be retained and made good locally as required.
- Traditional garage door.
- Through coloured render.
- Through coloured render.
- PPC cheeks and flashings to dormer windows.
- PPC aluminium glazed door.
- PPC aluminium copings in matching colour to window frames.



South



East



North



West



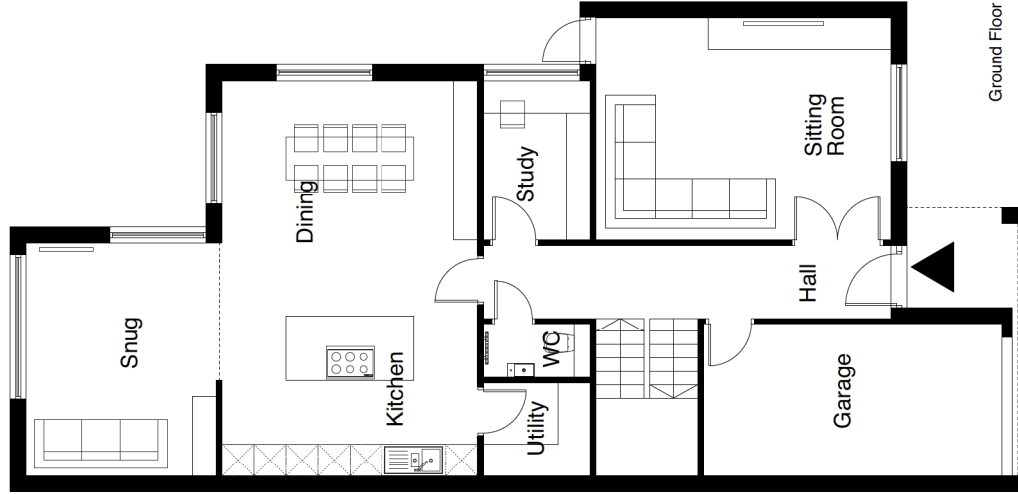
10m

PG_21_18_2021_Chimney removed, lion door & left corner moved.dwg
 PL_18_07_2021_Planning Issues.dwg
 18/07/2021
 15:00

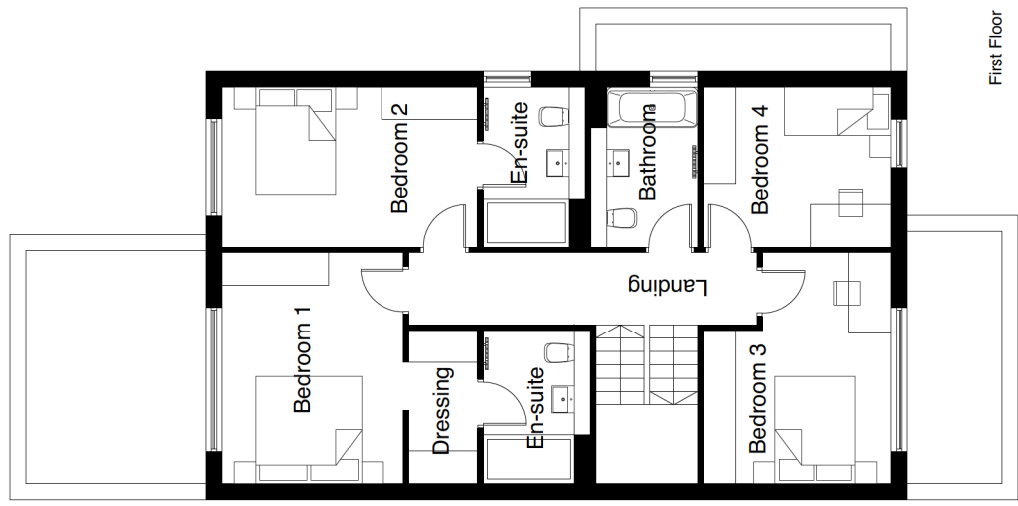
PROPOSED DEVELOPMENT, NEW ROAD, WOODHAMCOTE
 Proposed Elevations - Plot 6 & 7

DATE	ISSUE
18/07/2021	PLANNING
18/07/2021	15:00

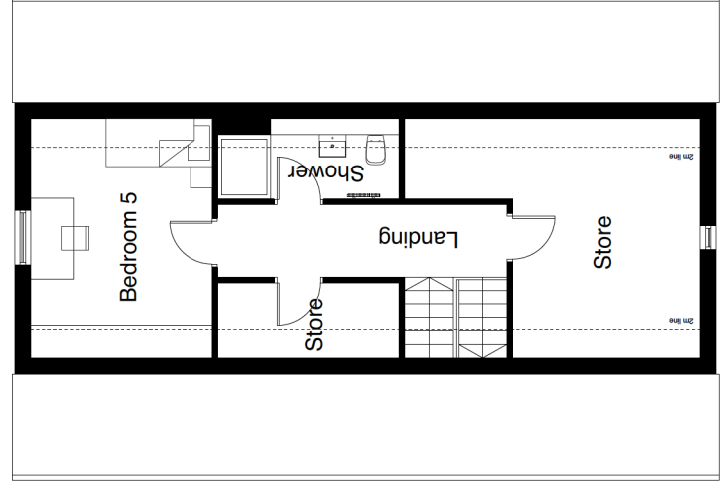
Total GIA 250 sqm / 2690 sqft (excl. garage)



Ground Floor



First Floor



Attic

PG 21/10/2021: Changes removed RN
P1, 16/07/2021: Planning Issues RN
Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Proposed Floor Plans - Plot 8

DATE	REVISION
24/01/23	PG
16/07/21	P1
16/07/21	PG



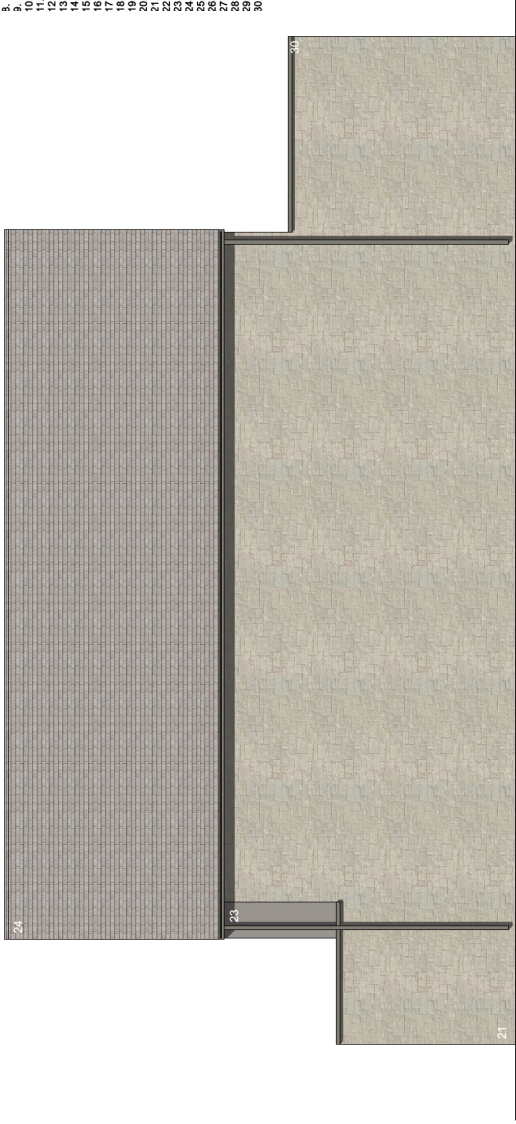
BPN ARCHITECTS

1. New Road, Woodmarche, MK11 1LD
01753 78118
www.bpnarchitects.co.uk

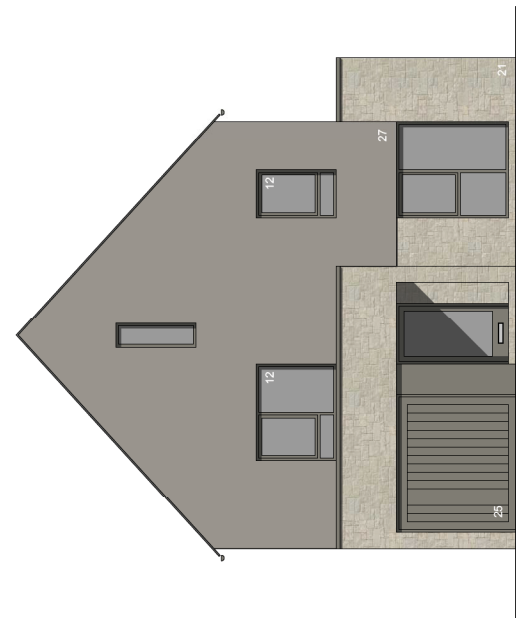


KEY

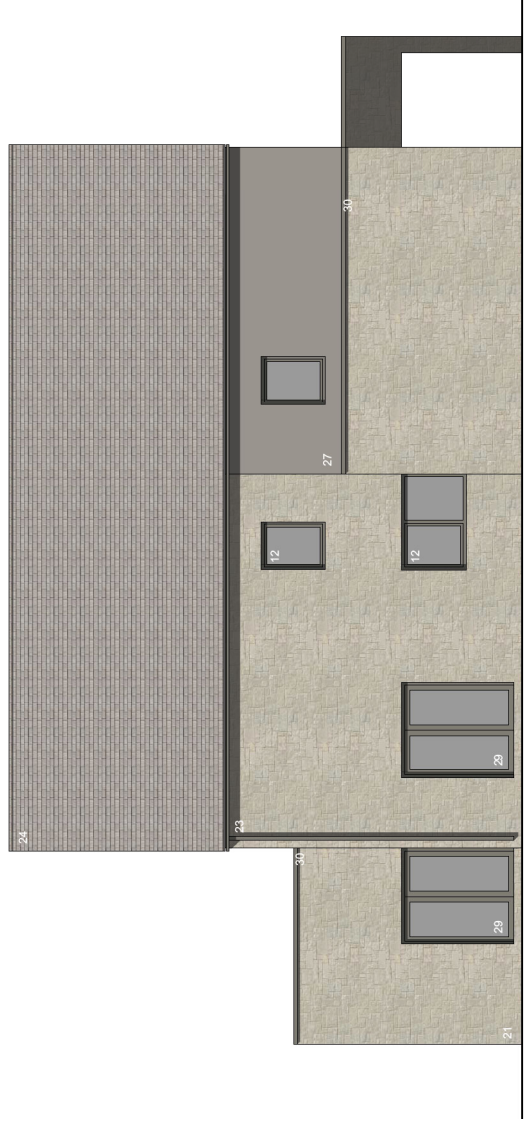
1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be retained and incorporated into new double glazed units (applies to all existing windows).
4. Brick spondrels redecorated.
5. Timber frame redecorated.
6. Existing stone walling to be retained and made good locally as required.
7. Existing delapidated stone wall rebuilt.
8. Existing stone walling to be retained and screen in bronze colour.
9. Spacing seam zinc roof.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing stone walling to be retained and made good locally as required.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling to be retained and made good locally as required.
16. Existing chimney partially retained with matching stone.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling to be retained and made good locally as required.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone lintels, reveals, mullions and cills.
23. Existing stone walling to be retained and made good locally as required.
24. Tiled roof in built to match existing Poplar Farm cottage.
25. Traditional garage door.
26. Through coloured render.
27. Existing stone walling to be retained and made good locally as required.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings in matching colour to window frames.



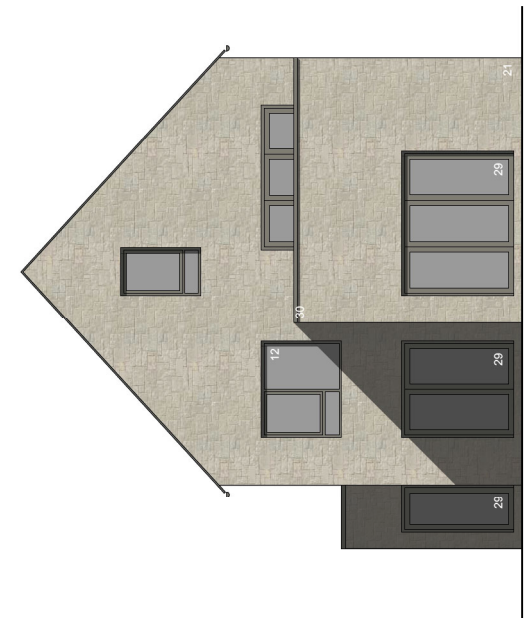
South



East



North



West





PL_24_10_2023_General Revision_RN
PS_26_10_2023_Landscaping Level to Extension_RN
PS_26_10_2023_Improved Parking Level_RN
PI_16_07_2023_Preliminary Issues_RN
Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Streetscene Elevations

DATE	REVISION	BY	DATE
2023.10.26	PM	PL	10/26/23
2023.10.26	PM	PL	10/26/23
2023.10.26	PM	PL	10/26/23

